

RECEIVED

JAN 04 2021

ORIGINAL

DATE OF SUBMISSION: ZB 2021/01  
X ZONING BOARD PLANNING BOARD

RECEIVED BY: R. Federico  
 APPLICATION NO. \_\_\_\_\_

TOWNSHIP OF FLORENCE  
 LAND DEVELOPMENT APPLICATION

If you are not familiar with the Florence Township Ordinance requirements please ask to see a member of the Planning/Zoning Staff prior to filling out the application.

A. BASIC INFORMATION

1. APPLICANT NAME: Harpreet Bhatia 2. OWNER NAME: 2097 Route 130, LLC  
 STREET ADDRESS: 145 Moller Picher Way STREET ADDRESS: 6 Pelle Court  
 CITY: Deptford STATE: NJ ZIP: 08096 CITY: Florence STATE: NJ ZIP: 08016  
 TELEPHONE: \_\_\_\_\_ TELEPHONE: \_\_\_\_\_

3. If applicant is not owner, set forth in detail the nature and source of the legal beneficial right by which you can claim to submit this application.

4. TYPE OF APPLICATION: (check as many items as applicable)  
 Starred (\*) application require a public hearing with notice and legal advertisement.

<input type="checkbox"/> Minor subdivision	<input type="checkbox"/> Major Site Plan – Final	<input type="checkbox"/> Interpret zoning map or ordinance
<input type="checkbox"/> Major Sub-Prel*	<input type="checkbox"/> Conditional Use*	<input checked="" type="checkbox"/> Bulk variances*
<input type="checkbox"/> Major Sub-Final		<input checked="" type="checkbox"/> Use variances*
<input type="checkbox"/> Minor Site Plan*		<input type="checkbox"/> Informal Review
<input type="checkbox"/> Major Site Plan-Prel.*	<input type="checkbox"/> Appeal of decision of an Administrative Officer	<input type="checkbox"/> Other

NOTE: If a variance is requested in conjunction with this application the exact nature of the variance must be indicated on the application Form – SEE No. 15.

5. LIST OF INDIVIDUALS WHO PREPARED PLANS:

ARCHITECT

NAME: LFB & Associates  
 STREET: 131 Ridgewood Way  
 CITY: Burlington STATE: NJ ZIP: 08016  
 TELEPHONE: 973-818-8570

SITE PLANNER

NAME: \_\_\_\_\_  
 STREET: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_  
 TELEPHONE: \_\_\_\_\_

ENGINEER

NAME: \_\_\_\_\_  
 STREET: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_  
 TELEPHONE: \_\_\_\_\_  
 FAX: \_\_\_\_\_

ATTORNEY

NAME: Lewis Wilson, Esq  
 STREET: 420 Chamber Ave  
 CITY: Camden STATE: NJ ZIP: 08103  
 TELEPHONE: (856) 964-8898  
 FAX: (856) 342-7550

SITE INFORMATION

6. LOCATION OF PROPERTY

STREET ADDRESS 2097 Route 130  
 BLOCK NO. 109 LOT NO: 6.01, 6.02, 10, 11, 12

7. TYPE OF ROAD FRONTAGE: ☒ Rt. 130 ☐ Collector ☐ Secondary Local Road  
☐ Arterial ☐ Primary Local Road

8. ZONE DISTRICTS: (Circle one)

R Residential AGR Agricultural GM General Manufacturing  
☒ RA Residential HC Highway Commercial SM Special Manufacturing  
RB Residential ☒ NC Neighborhood Commercial P Park  
RC Residential OP Office Park H Historic

9. DESCRIPTION OF PROPOSED USE

Present Use Building is Vacant  
Proposed Use Liquor Store - package goods only  
Number of Lots 5

Lot Size	Frontages	Square Feet	Acres
Required			
Existing	<u>330.62</u>	<u>95.869</u>	<u>2.20</u>
Proposed			

Primary Building Setback Requirements

	Front	One Side	Second Side	Rear
Required				
Existing	<u>130</u>	<u>8' 6"</u>		<u>26' 4"</u>
Proposed				

Accessory building setback requirements (if applicable)

	Side	Rear	No. of Parking Spaces & Loading	Off Street	Loading
Required			Required		
Existing			Existing		
Proposed			Proposed		

Percent of Impervious Coverage

Allowed \_\_\_\_\_  
Existing 86.90%  
Proposed \_\_\_\_\_

Gross Floor Area

5155 SF

Height

24'

10. UTILITIES

Public Water

Yes No  
☒ Will this proposal require new water supply?  
☒ Is there an existing municipal water connection?  
☒ Can an existing connection service this proposal?  
☒ Are additional connections required?  
☒ Is the municipal water supply available?  
☒ Has application been made for municipal sewer conn.?  
\_\_\_\_ Date \_\_\_\_\_ No. of Connections \_\_\_\_\_

Well

Yes No  
N/A Is there an existing well?  
\_\_\_\_ Can the existing system service this proposal?  
\_\_\_\_ Is a new well proposed?  
\_\_\_\_ Has application been made?  
\_\_\_\_ Has application been approved or denied?  
\_\_\_\_ Date \_\_\_\_\_

Municipal Sewer

Yes No  
☒ Will the proposal require new sewerage lines?  
☒ Is there an existing Municipal sewer connection?  
☒ Can the existing connection service the proposal?  
☒ Are additional sewer connections required?  
☒ Is sewer capacity available?  
☒ Has application been made for municipal sewer conn.?  
\_\_\_\_ Has application been approved or denied?

On Site Sewerage Treatment

Yes No  
N/A Is there an existing septic system?  
\_\_\_\_ Can the existing system service this proposal?  
\_\_\_\_ Is a new system proposed?  
\_\_\_\_ Type \_\_\_\_\_ conventional septic  
\_\_\_\_ \_\_\_\_\_ alternative sewer  
\_\_\_\_ \_\_\_\_\_ waterless covert w/gray water

Gas Natural Gas ☒ Existing  
\_\_\_\_ Proposed

Propane \_\_\_\_\_ Existing  
\_\_\_\_ Proposed

Electric ☒ Existing  
\_\_\_\_ Proposed  
\_\_\_\_ Above Ground  
\_\_\_\_ Below Ground

11. OTHER APPROVALS REQUIRED AND DATE PLANS SUBMITTED

	YES	NO	MONTH/DAY/YEAR
1. New Jersey Dept. of Environmental Protection	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Burlington County Soil Conservation District	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Burlington County Planning Board	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. N.J. Department of Transportation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. _____	<input type="checkbox"/>	<input type="checkbox"/>	

SUBMISSION DATA

12. LIST OF MAPS, REPORTS AND OTHER MATERIALS ACCOMPANYING APPLICATION  
(attach supplemental sheet if necessary)

QUANTITY	DESCRIPTION OF ITEMS	MONTH/DAY/YEAR
<u>13</u>	<u>Site Plan</u>	
<u>13</u>	<u>Survey</u>	<u>8-25-20</u>
_____	_____	_____
_____	_____	_____

13. SUPPLEMENTAL ITEMS (COMPLETE AS NECESSARY)

PREVIOUS APPLICATIONS OR ACTIVITY:

☒ NO ☐ YES IF YES \_\_\_\_\_  
MONTH/DAY/YEAR

TYPE OF ACTION \_\_\_\_\_ APPROVED \_\_\_\_\_ DISAPPROVED

14. DEED RESTRICTIONS OR COVENANTS AFFECTING THIS APPLICATION: ☐ YES (attach copy if yes)  
☒ NO

15. ARGUMENTS FOR VARIANCE: (attach sheet if necessary)

Block 109 is a split zone RA and NC. The existing building  
is located in the RA zone. The building use  
is proposed as a Liquor Store which is permitted  
in a NC zone. The lower half of the plot  
is NC we are request that the entire plot be  
considered NC

16. WAIVERS OF DEVELOPMENT STANDARDS AND/OR SUBMISSION REQUIREMENTS: (attach sheet if necessary)

Side yard variance, existing is 8'6"  
required is 20', waive the requirement not having  
3 Liquor Stores within one mile radius.

17. EXPERT WITNESSES FOR APPLICANT: (when applicable)

NAME	TYPE OF TESTIMONY
_____	_____
_____	_____
_____	_____

18. AFFIDAVIT OF APPLICANT:

State of New Jersey

County of CAMDEN:SS

Harpreet Bhatia of full age, being duly sworn according to law, on oath deposes and says, that all of the above statements and the papers submitted herewith are true.

H.S. Bhatia  
Applicant to Sign Here

Sworn and subscribed before me

this 29 day of December, 2020

Joyce S. Patterson

**JOYCE S. PATTERSON**  
Notary Public  
My Commission expires 01/26/21

19. AFFIDAVIT OF OWNERSHIP:

State of New Jersey

County of Burlington:SS

Joseph G. Gollino of full age, being duly sworn according to law, on oath deposes and

says, that member of 201 R+B LLC the deponent resides at

in the Twp of Florence in the County of Burlington

and in the State of NY that RE is the owner of all that certain lot,

piece of land situated, lying and being in the municipality aforesaid, and known and designated as number \_\_\_\_\_

Joseph G. Gollino  
Owner to Sign Here

Sworn and subscribed before me

this 28 day of Dec, 2020

J. DAS Eryon

20. AUTHORIZATION BY OWNER: (If anyone other than above owner is making this application, the following authorization must be executed.)

To the Approving Board of the Township of Florence:

Harpreet Bhatia is hereby authorized to make the within application.

Dated 12/28/20

Joseph G. Gollino  
Owner to Sign Here

CERTIFICATION

Date \_\_\_\_\_

I, \_\_\_\_\_, an authorized representative of which is a corporation, or partnership, applying to the Planning Board or Zoning Board of Adjustment of the Township of Florence for permission to subdivide a parcel of land into six (6) or more lots, or applying for a variance to construct a multiple dwelling of twenty-five (25) or more family units, or for the approval of a site to be used for commercial purposes, do hereby disclose, pursuant to the requirements of NJSA40:55D-48.1. The name and address of all stockholders or individual partners owning at least 10% of the interest in the partnership which are hereby listed as follows:

Name \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Address \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If any of the above owners is a corporation or partnership, the applicant is required to disclose the name and address of each individual holding a 10% interest, or greater, in the named corporation or partnership which shall be divulged in the same format as the above pursuant to NJSA 40:55D-48.2)

\_\_\_\_\_  
Title



## USE VARIANCE SUPPORT

1. Granting a Use Variance would allow alcoholic beverages to be purchased outside of the residential areas of the Township. The location is currently fenced off from the residential areas . Its only opening is onto Route 130 for ingress and egress.
2. The location would be upgraded by resurfacing the parking area that is clearly visible to traffic on Route 130 thereby giving a better image for the Township. Currently the lot is an eyesore with grass and weeds growing in the cracks of the black top.
- 3.The vacant building would be refurbished inside and out and used as an anchor for a future strip mall that would offer services to the neighborhood as well as the travelers on Route 130..
4. The existing building is located in a RA Zone . It was last used as a night club and is not suited for use as a residence.

Florence Township  
Planning Board/Zoning Board of Adjustment  
711 Broad Street

November 2020

RECEIVED

JAN 04 2021

ZB 2021/01

Re: 2097 Route 130 ,Block 109 Lots 6.01, 6.02 ,10 ,11, &12.

Sirs/Madams :

I am the representative member of 2097 Route 130 LLC ,the owner of the parcel known as Block 109 Lots 6.01, 6.02, 10, 11, 12. This property is under Agreement of Sale to Mr. Harpreet Bhatia. On behalf of 2097 Route 130 LLC I grant Mr. Harpreet Bhatia and or his attorney Lewis Wilson ,Esq. to apply for zoning /variances/ site plan approval as required to allow the property to be used in the way contemplated by Mr. Bhatia the purchaser in the Agreement of Sale.

Sincerely :



Giuseppe Gallina ; Representative member  
2097 Route 130 LLC

# TOWNSHIP OF FLORENCE

## VARIANCE APPLICATIONS

### CHECKLIST OF SUBMISSION REQUIREMENTS

**TO BE FILLED OUT BY APPLICANT:**

Name of Applicant: Harpreet S. Bhatia  
 Location of Subject Property:  
 Street Address: 2097 Route 130  
 Block: 109 Lot: 5.01, 6.02, 10, 11 & 12  
 Date Submitted to Florence Land Use Office: \_\_\_\_\_

**FOR OFFICIAL USE ONLY:**

RECEIVED

Date Received at Florence Land Use Office: JAN 04 2021 By: K Fedeneo

Completeness Review By (required by both): ZB 2021/01

Complete	Incomplete	Reviewed by	Signature	Date Reviewed
_____		Board Engineer	_____	_____
_____		Board Attorney	_____	_____

(If incomplete indicate the missing items on this form and return it to the applicant)

Date Returned to Applicant: \_\_\_\_\_ By: \_\_\_\_\_

### INSTRUCTIONS

You should first obtain the "GENERAL INSTRUCTIONS FOR APPLICATIONS", from the Land Use Office. Read it carefully for a detailed explanation of the application process. Be sure that you have the correct checklist before you begin compiling your application. This checklist relates to steps 1 and 2 in the process (as described in the General Instructions) and can be used only for variance applications. It is your responsibility, as an applicant, to provide a complete "picture" of your application. Only after you have provided the information listed below can your application be certified as "complete" and submitted to the Planning Board or Zoning Board for their review. In some cases (indicated below), specific checklist items may be requested to be waived by checking the appropriate box under "waiver requested". Be sure that you address each of the items listed in this checklist in your application submission. Failure to do so will result in it being classified "incomplete". An "incomplete" application has no legal status.

**SUBMISSION OF MATERIALS to the LAND USE OFFICE**

At the time of the original submission of your application to the Florence Land Use Office, your application must be in 14 complete sets (original and 13 copies). All maps must be folded and a complete set must be sent directly to the Board's professional staff (addresses can be obtained from the Land Use Office). As noted below, the application fee is a non-waivable submission item. However, because the application fee is non-refundable, you are not required to submit the application fee until after your application is certified "complete" (and scheduled on the Board's meeting agenda).

**Non-waivable Submission Items**

The following items must accompany all applications at the time of the original submission. They cannot be waived. Please check the appropriate box when provided:

Provided	
<input checked="" type="checkbox"/>	Completed and signed checklist together with written justification of waiver requests, if any. Original and thirteen (13) copies.
<input checked="" type="checkbox"/>	Application Form. Original and thirteen (13) copies, completed and notarized.
<input checked="" type="checkbox"/>	Escrow fee along with the completed escrow agreement (consult with the Land Use Office for the amount and to obtain agreement form).
<input checked="" type="checkbox"/>	Certification by the Township Tax Collector that all taxes on the subject property are paid to date. Original and thirteen (13) copies.
<input checked="" type="checkbox"/>	If the property is under agreement, either a copy of the agreement or a letter from the owner granting permission to seek application approval.

PLEASE NOTE: The application fee is also a non-waivable submission item; but because it is non-refundable, you may submit it after your application is certified as "complete" and scheduled on a Board meeting agenda.

**Submission Items**

The following items are required by ordinance to be submitted with all variance applications. You may request that a specific item be waived by marking the appropriate "waiver requested" box and providing written justification for the request. A determination on any waiver request will be made based upon the written justification that must accompany any waiver request. Waivers will be granted only for good and sufficient reason and the request to waive a major item will substantially delay the process. Please check the appropriate boxes:

Provided	Waiver Requested	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Survey of the property by a licensed New Jersey land surveyor showing boundaries and all existing structures. Original and thirteen (13) copies.
<input type="checkbox"/>	<input type="checkbox"/>	A sketch plan outlining the location, nature and extent of any variances(s) requested. Original and thirteen (13) copies.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A complete "Request for Certified List of Property Owners" form (obtain from Land Use Office).
<input type="checkbox"/>	<input type="checkbox"/>	A certificate from the Zoning Officer setting forth the reasons for the denial of the zoning permit. If you have retained an attorney or planner, they may provide the written description of the needed variances(s).



**"d" ("USE") VARIANCE (under C40:55D-70d) SUBMISSION REQUIREMENTS**

If your application is for or includes a "d" (use) variance the following information must be provided in addition to the submission items listed above:

Provided	Waiver Requested	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A written statement describing and providing legal justification for the exact proposed use requested. Original and thirteen (13) copies

**APPLICANT'S CERTIFICATION**

The undersigned (applicant) hereby acknowledges that the information contained herein is true and complete to the best of his/her knowledge.

Date: This 14<sup>th</sup> day of December, 2020

Lewis Wilson Esq.  
Lewis Wilson Esq.



Engineers  
Planners  
Surveyors  
Landscape Architects  
Environmental Scientists

2000 Midlantic Drive, Suite 100  
Mount Laurel, NJ 08054  
T: 856.797.0412  
F: 856.722.1120  
www.maserconsulting.com

December 15, 2020  
VIA EMAIL

RECEIVED

JAN 04 2021

ZB 2021/01

Ms. Jennifer Allen  
Florence Township  
711 Broad Street  
Florence, NJ 08518

Re: Zoning Permit Application #4303  
Block 109 Lots 6.01,6.02,10,11,12  
2097 Route 130  
Florence, NJ 08518  
MC Project No. FLT-141



Dear Ms. Allen:

We have reviewed the "Site Plan" received on December 7, 2020. The proposed change of use will require a site plan approval. In addition, a use variance is needed for any improvements that support the principal use that are located in zoning district RA, including parking and access.

We cannot comment on future buildings until a formal proposal is submitted.

Please feel free to contact this office should you have any questions or concerns.

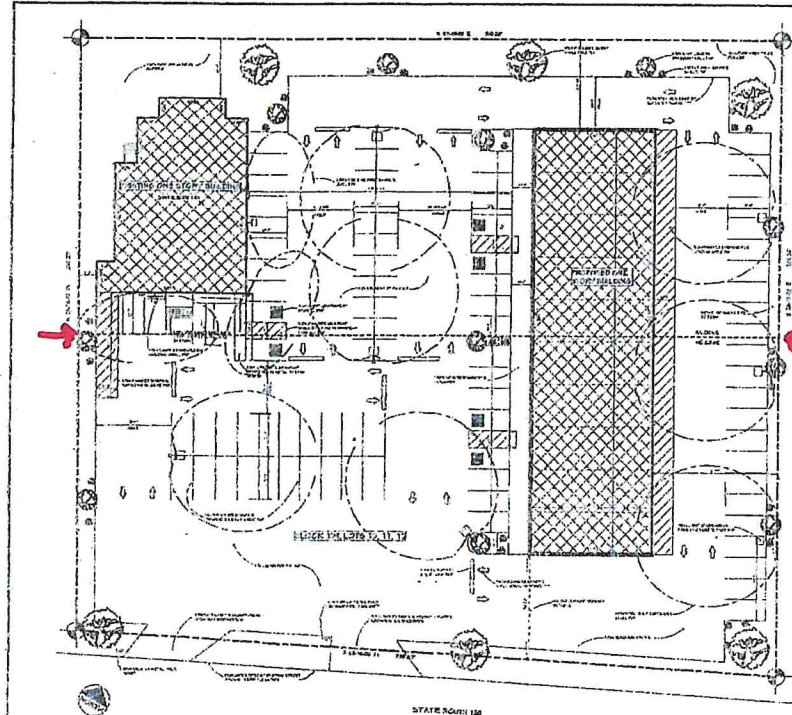
Very truly yours,

MASER CONSULTING

  
James F. Biegen, P.E., C.M.E.  
Zoning Officer

JFB/tjc  
cc: Applicant

R:\Projects\FLT\FLT-141\Applications-Permits\Municipal\2097 Rt 130\201210 Rt 130.docx



← Split Zone

Maser Consulting  
 Received 12/07/20 By \_\_\_\_\_  
 Approved \_\_\_\_\_ Denied X Conditional \_\_\_\_\_  
 Reason for Denial see attached  
 Condition of Approval \_\_\_\_\_  
 Signature [Signature] Date 12/15/20

SITE PLAN

- NOTES:**
1. PROPERTY LINES - SEE SURVEY
  2. PROPOSED BUILDING - SEE SURVEY
  3. EASEMENT - SEE SURVEY
  4. PROPERTY LINES - SEE SURVEY
  5. PROPOSED BUILDING - SEE SURVEY
  6. EASEMENT - SEE SURVEY
  7. PROPERTY LINES - SEE SURVEY
  8. PROPOSED BUILDING - SEE SURVEY
  9. EASEMENT - SEE SURVEY
  10. PROPERTY LINES - SEE SURVEY
  11. PROPOSED BUILDING - SEE SURVEY
  12. EASEMENT - SEE SURVEY

ARCHITECT - PLANNER	
1425 South Elmwood Ct., Westwood, N.J., 07093	
PROJECT (S) 2041 ROUTE 180, LLC	
SHEET NO. 1	
DATE 12/15/20	
DESIGNED BY	CHECKED BY
DRAWN BY	DATE
SCALE	DATE

TOWNSHIP OF FLORENCE  
OFFICE OF THE PLANNING AND ZONING BOARDS

TAX COLLECTOR'S CERTIFICATION

RECEIVED

JAN 04 2021

ZB 2021/01

Applicant's Name, Address and Telephone Number: LEWIS WILSON, ESQUIRE  
420 Chambers Avenue, Camden, NJ 08103 (856) 964-8898 Fax (856) 342-7550  
Email: lewilson1@verizon.net

Block/s: 109 Lot/s: 6.01, 6.02, 10, 11, 12

Street Address: 2097 Route 130

Property Owner's Name, Address and Telephone Number IF DIFFERENT FROM APPLICANT:  
2097 Route 130, LLC, 6Pelle CT Florence, NJ 08518

I HEREBY CERTIFY THAT:

( ) There is due to the Township of Florence, on the above property, the following amounts:

Taxes: \$                     

Assessments: \$                     

Water and/or Sewer Charges: \$                     

TOTAL: \$                     

(X) ALL Taxes, Assessments and Water and/or Sewer Charges on the above property are paid in full.

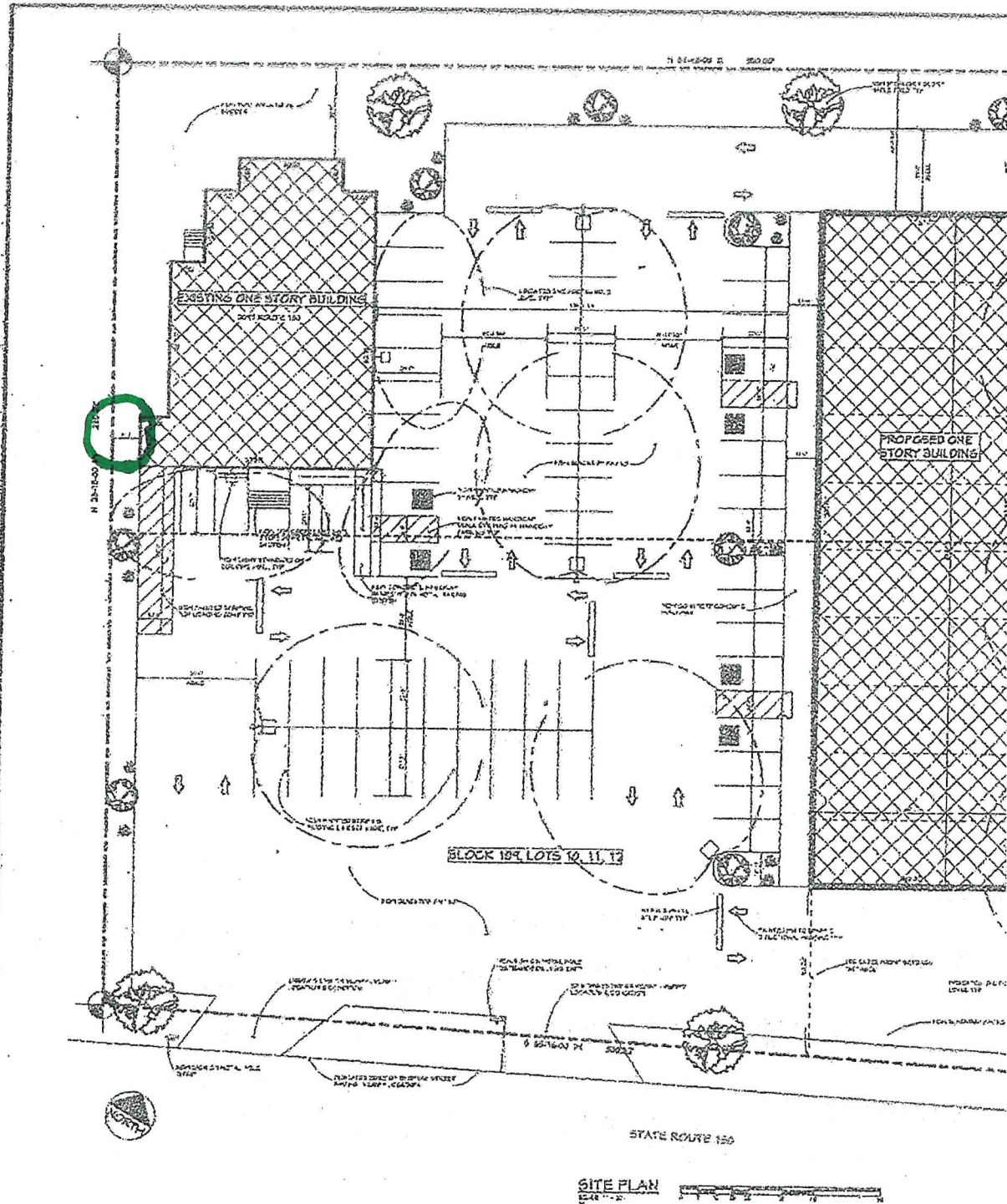
Christine M. Swiderski, Tax Collector

Date: 11/30/2020

**PLEASE NOTE:** This document must be completed by the Tax Office **BEFORE** it is submitted with the application package.



Side yard Variance required Existing 8'9" from Property line  
Require distant 20'.



#### PROJECT NOTES

1. PRESENTED BY: KENT BUECHER
2. PROPOSED USE: RETAIL BUILDING FOR 10,000 SQ. FT. PROPOSED COMMERCIAL STORES
3. LOT AREA - 3.54 AC (152,341 SQ. FT.)
4. EXISTING BUILDING - 8,154 SQ. FT.
5. PROPOSED BUILDING - 10,000 SQ. FT.
6. TOTAL BUILDING FOOTPRINT - 18,154 SQ. FT.
7. LOT BUILDING COVERAGE - 11.87%
8. LOT IMPERVIOUS COVERAGE - 15.48%
9. ZONE - M-1 (MEDIUM DENSITY RESIDENTIAL)
10. SITE SUBMITTED FOR REVIEW BY HENRY CHEN, P.E.
11. D-122-277-N, DRAWING NO. 2018